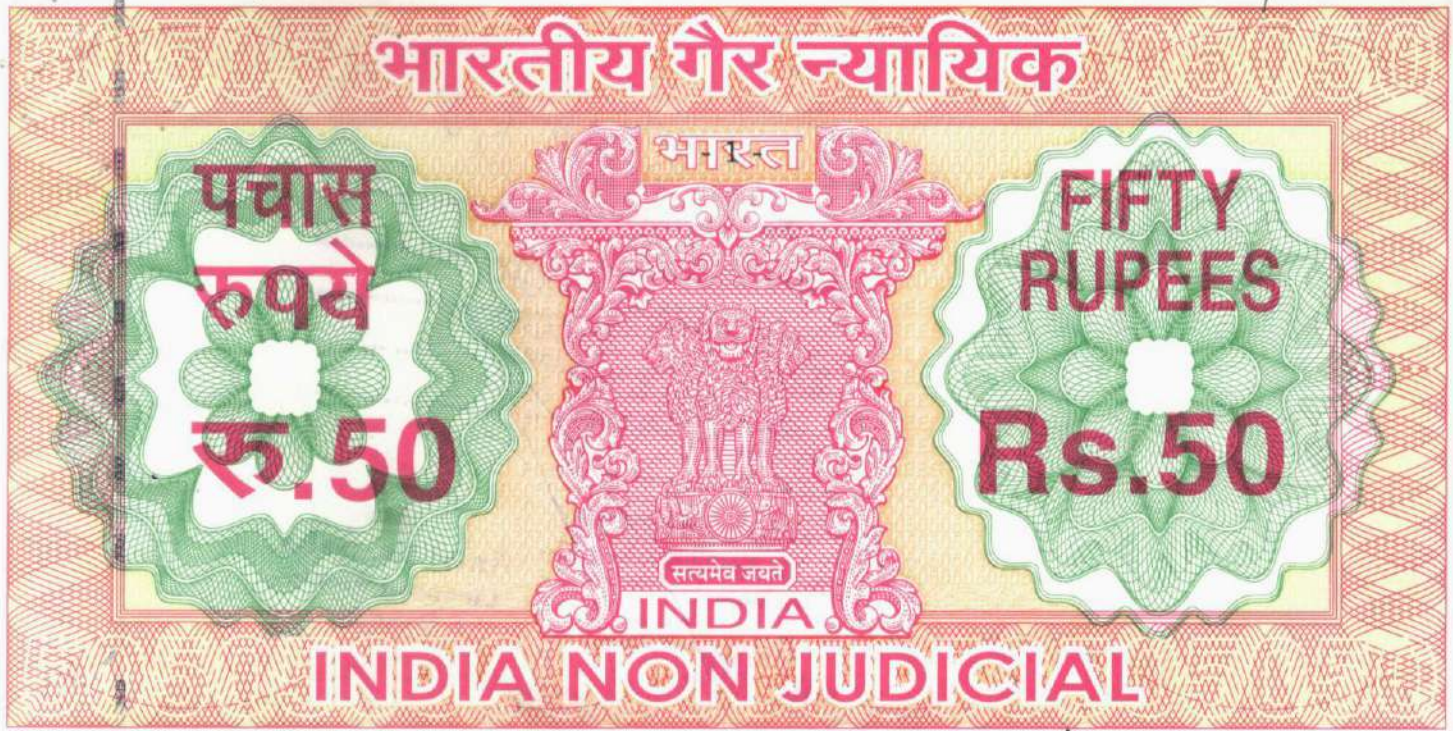


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पश्चिम बंगाल पश्चिम बंगाल WEST BENGAL 01/21/882256/22 AE 623427

11:32
Am
30.6.22

Certified that the document is admitted to registration. The Signature sheet and the endorsement sheets attached with this document are the part of this document.

Mouza: Sultanpur
P.S.: Baruipur
Mallickpur Gram Panchayat
District - South 24 Parganas

Suman Jal
Addl. District Sub-Registrar
Baruipur, South 24 Parganas

30 JUN 2022

SALE DEED

THIS DEED OF SALE is made on this the 30th day of June Two Thousand and Twenty-Two (2022) A.D.

BETWEEN

SIRAJUDDIN SHEIKH [PAN- ALWPS0030R/ Aadhaar No. 8624 1092 9045/ Mobile No. 8910451022] son of Late Sk. Akbar Ali, by faith-Muslim, by occupation-Cultivation, residing at Village -Bon Hooghly, P.O. Badehugli, P.S. Sonarpur, District South 24 Parganas-700145, hereinafter called 'the **VENDOR** (which expression shall mean and include by or repugnant to the context his heirs, executors, successors, representatives and assigns) of the **ONE PART**.

Aswini

57840

No.
Name:
ASHOK KUMAR SINGH
ADVOCATE
Address:
..NICCO HOUSE, 2, HARE STREET
6TH FLOOR, CALCUTTA-700001
Rs.
Kolkata Collectorate
11, Netaji Subhas Rd.,
Kolkata-1
Date:
E9 JUN 2022
Amal Kr. Saha
Licensed Stamp
Vendor



Adm. District Sub-Registrar
Baruipur, South 24 Parganas

30 JUN 2022

Identified by me:-

Asm. Bhowmick
S/o. Sri N.C. Bhowmick
Uttarayan, P.S. Baruipur
P.O. Kalluipur
Kob 700145.

AND

DELMON REALTY LLP, (PAN-AAMFD8063G] a Limited Liability Partnership Firm incorporated under the Limited Liabilities Partnership Act, 2008, having its office at 36/ IA, Elgin Road, P.O. Lala Lajpat Rai Sarani, P.S. Bhowanipore, Kolkata-700020, District South 24 Parganas, **being represented by one of its Partners MR. RAM NARESH AGARWAL [PAN - ACYPA1903G/ Aadhaar No. 594889630890 and Mobile No. 9831718888]**, son of Nand Kishore Agarwal, by faith Hindu, by occupation Business, by Nationality-Indian, residing at 135G, S.P. Mukherjee Road, P.O. Kalighat, P.S. Tollygunge, Kolkata-700026, District South 24 Parganas, hereinafter referred to as the **PURCHASER** (which expression shall unless excluded by or repugnant to the subject or context be deemed to mean and include successor and/or successors-in-interest and assigns) of the OTHER PART:

THE PROPERTY: Sali (Agricultural) Land admeasuring 50 decimals comprises in R.S. /L.R. Plot No. 355 and also the land measuring 41 decimals comprised in R.S./L.R. Dag No. 356 and also the land measuring 34 decimals out of 68 decimals comprised in R.S./L.R. Dag No. 360 all appertains to L.R. Khatian No. 791 area in aggregate 125 decimals all of Mouza - Sultanpur, J.L. No. 16 within the limit of Mallickpur Gram Panchayat, P.S. - Baruipur, in the district of South 24 Parganas (herein after referred to as **the said landed property** more particularly described in the Schedule below and herein intended to be sold).

WHEREAS:

- A. The vendor herein is the lawful owner in respect of the said landed property, as acquired by purchased as described in the Schedule - "A" below.
- B. The vendor herein pursuant to the agreement for sale dated 11.05.2022 desired to sell the said landed property filled up till the



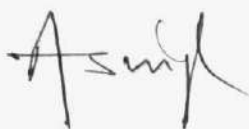


District Sub-Registrar
Baruipur, South 24 Parganas

30 JUN 2022

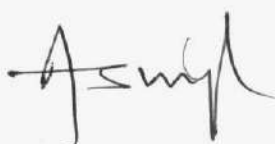
road level, at and for the consideration of Rs. 1,49,29,720/- (Rupees One Crore Forty Nine Lakh Twenty Nine Thousand Seven Hundred and Twenty only) free from all encumbrances;

- C. In pursuance of the offer and acceptance and the Purchaser relying on the aforesaid representations, assurances and confirmation and believing the same to be true agreed to purchase the said landed property admeasuring 125 decimals at and for the said consideration of Rs. 1,49,29,720/- (Rupees One Crore Forty Nine Lakh Twenty Nine Thousand Seven Hundred and Twenty only), and agreed to sell the said landed property to the Purchaser absolutely, forever and free from all encumbrances;
- D. However, pursuant to the terms of the agreement, the Vendors failed to commence developing the land to the extent of road level within the agreed time of 15 days, where after the purchaser herein vide its letter dated 15.06.2022 informed the same to the vendors and took proper steps to register the land in its own favour. The Purchaser incurred/will incur an expenditure of around Rs.51, 79,720/- which as agreed has been deducted from the total consideration to be paid to the vendors.
- E. Now, the concerned parties herein have agreed that out of the total consideration agreed upon above, Rs.97,50,000/-(Rupees Ninety Seven Lakh Fifty Thousand Only) is to be paid on account of land purchase and rest Rs. 51,79,720/- (Rupees Fifty One Lakh Seventy Nine Thousand Seven Hundred Only) has been appropriated on account of land development charges.
- F. The purchaser has this day paid the entire consideration as per memo below to the vendors equally and now there is no impediment to execute and register the conveyance by the vendors in favour of the Purchaser,



the vendors execute this Deed of Sale in the manner hereinafter appearing.

NOW THIS DEED OF SALE WITNESSES that in pursuance of the said agreement and in consideration of the sum of Rs.97,50,000/- (Rupees Ninety Seven Lakh Fifty Thousand Only) paid by the Purchaser to the Vendor in the manner aforesaid, as agreed (the receipt whereof the Vendor do hereby and also by the memo hereunder written admit and acknowledge and of and from the same and every part thereof, the Vendor do hereby forever release, discharge and acquit the Purchaser and each of them and the said Landed Property hereby intended to be granted, sold, conveyed and transferred), the Vendor having good right full power and absolute authority and indefeasible title to grant, convey, sell, transfer, assign the said Landed Property doth hereby transfer, sell, convey, grant and assign to and unto the Purchaser ALL THAT piece and parcel of Sali (Agricultural) Land admeasuring 50 decimals comprises in R.S. /L.R. Plot No. 355 and also the land measuring 41 decimals comprised in R.S./L.R. Dag No. 356 and also the land measuring 34 decimals out of 68 decimals comprised in R.S./L.R. Dag No. 34 all appertains to L.R. Khatian No. 791 area in aggregate 125 decimals all of Mouza - Sultanpur, J.L. No. 16 within the limit of Mallickpur Gram Panchayat, P.S. - Baruipur, in the district of South 24 Parganas, shown within the red verge in the plan annexed hereto, together with all easement right, more particularly described in the Schedule hereunder written and herein referred to as the **said landed property** OR HOWSOEVER OTHERWISE the said Landed property or any part thereof now are or is or heretofore butted, bounded, called, known, numbered, described or distinguished FURTHER TOGETHER WITH all that hereditaments, messuages, benefits, right or easement and advantages AND ALL manner of former or other rights, lights, liberties, easements, sewers, drains, water ways, path ancient and/or present or other rights, passages, privileges, emoluments,



appendages and appurtenances whatsoever to the said Landed Property or any part belonging or in any wise appertaining to or which with the same or any part thereof now are or is or at any times heretofore were or was held used occupied or enjoyed or reputed to belong or be whatsoever both at law and in equity of the Vendor into and upon the said Landed Property or any part thereof TOGETHER WITH all writings and evidences of title exclusively relating to the said Landed Property or any part thereof which now is or hereafter shall or may be in the custody power or possession of the Vendor or which the Vendor can or may procure without any action or suit at law or in equity **TO ENTER UPON AND TO HAVE AND HOLD, OWN, POSSESS AND ENJOY** the said Landed Property and every part thereof hereby granted sold and conveyed and transferred or expressed or intended so to be and every part thereof TOGETHER WITH all rights members and appurtenances unto and to the use of the Purchaser in fee simple absolutely and forever and free from all encumbrances and forever freed and discharged from or otherwise by the Vendor and well and sufficiently indemnified of and against all encumbrances claims, liens whatsoever created or suffered by the Vendor.

AND THE VENDOR DO HEREBY COVENANT WITH THE PURCHASER AND DECLARE that notwithstanding any act, deed, matter or thing by the Vendor done or executed or suffered to the contrary the Vendor lawfully and absolutely seized and possessed of or otherwise well and sufficiently entitled to an absolute estate of inheritance in fee simple in possession of the said Landed Property and every part thereof and that the said Landed Property has not been affected nor has not been requisitioned and acquisitioned or vested into the State of West Bengal under any provisions of the relevant Acts nor the Vendor has received any notice in relation thereto and that the said Landed Property is well within the ceiling limit of the Vendor and duly retained by the Vendor and that there is no previous agreement for sale executed by the Vendor in respect of the said Landed

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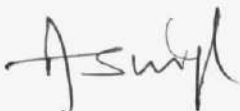
Property with any person or persons and that there is no order passed by any court or any statutory authority restraining the Vendor from selling, transferring and/or alienating the said landed property in any manner and that notwithstanding as aforesaid the Vendor has good right full power absolute authority and indefeasible title to grant, convey, transfer and assign the said Landed Property hereby granted, conveyed, and transferred or expressed or intended so to be unto and to the use of the Purchaser and in the manner aforesaid according to the true intent and meaning of these presents and that the Purchaser shall and will and may from time to time and at all times hereafter peaceably and quietly enter into, hold, possess and enjoy the said Landed Property hereby granted sold and conveyed and receive rents, issues and profits thereof and every part thereof without any lawful eviction, interruption, disturbances, obligations, restrictions, claim and demand whatsoever from or by the Vendor and all persons claiming from under or in trust of the Vendor and that free and clear and freely and clearly and absolutely acquitted, exonerated, discharged and released or otherwise by and at the costs and expenses of the Vendor well and sufficiently saved and kept indemnified of from and against all and all manner of charges, mortgages, claims, demands, liens, lispendens, debts, attachments and encumbrances whatsoever made or suffered by the Vendor or any of the ancestors or predecessors-in-title or any person or persons lawfully or equitably claiming as aforesaid and further that the Vendor and all persons having or lawfully or equitably claiming any estate and interest whatsoever in the said Landed Property or any part thereof from through under or in trust of the Vendor or any other person or persons as aforesaid shall and will from time to time and at all times hereafter at the request and cost of the Vendor do and execute and caused to be done and executed all such other and further assurances, acts, deeds, matters and things for further better and more perfectly granting and transferring the said Landed Property and every part and parcel thereof unto and to the use of the Purchaser according to the true intent

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and meaning of these presents as shall or may be reasonably required AND FURTHER the Vendor do hereby covenant with the Purchaser that if it transpires that the said Landed Property hereby conveyed, sold and transferred by the Vendor is not free from all encumbrances as herein before stated the Vendor shall be liable to the Purchaser to make good any loss sustained by it and furthermore, the Vendor shall at all times hereafter indemnify and keep indemnified the Purchaser against any loss damages cost charges expenses if any, suffered by any reason of any defect of title of the Vendor and any breach of the covenants herein contained;

AND FURTHER it is agreed that the Vendor shall deliver all original documents of title and other related papers, parchas etc. In case any parcha or deeds be related to other properties which are not conveyed by such seller/Vendor, then such seller/Vendor shall deliver an official certified true copy of the original parcha or deed issued by the authorities concerned. If the Vendor are found to misuse any deed/chain deed as aforesaid and thereby title of the aforesaid land is effected the vendor shall be liable to the purchaser to make good any loss sustained by purchaser and furthermore, the vendor shall at all times hereafter indemnify and keep indemnified the Purchaser against any loss damages cost, charges expenses if any, suffered by any reason of any misuse of title deed/chain deed relating to the said landed property of title of the Vendor.

AND FURTHER it is agreed by and between the Vendor and the Purchaser that whenever and wherever any interpretation would be necessary in order to give the fullest scope and effect legally possible to any covenant or contract herein contained the terms and expressions 'the Vendor' and 'the Purchaser' shall mean and include their and each of their respective legal representatives, successors-in-office/interest, executors, administrators and/or assigns.

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THE VENDOR FURTHER AGREES, DECLARES, ASSURES AND CONFIRMS THAT:

- i. The Vendor shall render all assistance in mutating the name of the Purchaser as owner of the said landed property in the records of the B.L & L.R.O., Mallickpur Gram Panchayat and other concerned offices at the cost of purchaser.
- ii. Proportionate annual rent is payable to the Government of West Bengal through Block Land and Land Reforms Office.
- iii. The Vendor has paid the property tax/rents upto the date of Deed of conveyance in respect of the said landed property.
- iv. The said Landed Property is not wet land property and now being used as sali or agricultural land and has no direct access to any road.
- v. There is no bargadar.
- vi. That the photographs and 10 fingers impression of the Vendor and Purchaser are attached herewith made an integral part of this Deed.

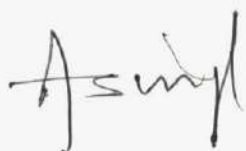
THE SCHEDULE - "A" ABOVE REFERRED TO
(THE DEVOLUTION OF TITLE OF THE PROPERTY TO THE VENDOR)

- A. One Tarapada Mondal and Kanailal Mondal were the recorded owners of Sali land admeasuring 41 decimals in R.S. /L.R. Dag No. 356, and also Sali land admeasuring 50 decimals comprised in R.S. /L.R. Dag No. 355, pertaining to L.R. Khatian No. 127 & 134, of Mouza - Sultanpur, J. L. No. 16 within the limit of Mallickpur Gram Panchayat, P.S. - Baruipur in the district of South 24 Parganas (hereinafter referred to as the said property);
- B. The said Tarapada Mondal sold, transferred, assured, assigned and conveyed his entire shares in total property equivalent to 20.5 decimals

Aswini

out of 41 decimals appertaining to R.S./L.R. Dag No. 356, and also the land measuring 25 decimals out of 50 decimals comprised in R.S./L.R. Dag No. 355 pertaining to Khatian No. 127 & 134 by the registered deed of sale dated 20.06.1974 registered in the office of ADSR Baruipur and was recorded in Book No. I, Volume No. 70, pages from 106 to 108, Being No. 5115 for the year 1974 in favour of Akbar Ali Sheikh for the consideration mentioned therein absolutely forever and free from all encumbrances;

- C. The said Kanailal Mondal sold, transferred, assured, assigned and conveyed his entire shares in total property equivalent to 20.5 decimals out of 41 decimals appertaining to R.S./L.R. Dag No. 356, and also the land measuring 25 decimals out of 50 decimals comprised in R.S./L.R. Dag No. 355 pertaining to Khatian No. 127 & 134 by the registered deed of sale dated 20.06.1974 registered in the office of ADSR Baruipur and was recorded in Book No. I, Volume No. 70, pages from 109 to 111, Being No. 5116 for the year 1974 in favour of Akbar Ali Sheikh for the consideration mentioned therein absolutely forever and free from all encumbrances;
- D. Said Tarapada Mondal was also the recorded owner of Sali land admeasuring 34 decimals out of 68 decimals in R.S. /L.R. Dag No. 360, pertaining to L.R. Khatian No. 294, of Mouza - Sultanpur, J. L. No. 16 within the limit of Mallickpur Gram Panchayat, P.S. - Baruipur in the district of South 24 Parganas;
- E. The said Tarapada Mondal while seized and possessed of the said landed property, sold, transferred, assured, assigned and conveyed his entire shares in the aforesaid property equivalent to 34 decimals out of 68 decimals appertaining to R.S. /L.R. Dag No. 360, by the registered deed of sale dated 21.10.1974 registered in the office of ADSR Baruipur and was recorded in Book No. I, Volume No. 101, Pages 191 to 194 Deed No. 8428 for the year 1974 in favour of Akbar Ali Sheikh for the consideration mentioned therein absolutely forever and free from all encumbrances;



- F. Thus in the aforesaid manner said Akbar Ali Sheikh became the absolute owner of all that piece and parcel of Sali (Agricultural) Land admeasuring 50 decimals comprises in R.S. /L.R. Plot No. 355 and also the land measuring 41 decimals comprised in R.S./L.R. Dag No. 356 and also the land measuring 34 decimals out of 68 decimals comprised in R.S./L.R. Dag No. 360 all appertains to L.R. Khatian No. 791 area in aggregate 125 decimals all of Mouza - Sultanpur, J.L. No. 16 within the limit of Mallickpur Gram Panchayat, P.S. - Baruipur, District South 24 Parganas;
- G. The said Akbar Ali Sheikh while seized and possessed of the said landed property died intestate leaving behind his wife - Jobeda Khatun, two sons namely Sirajuddin Sheikh, Asifuddin Sheikh and three daughters namely Rozina Khatun Bibi and Parvin Laskar and Nasrin Khatun and none else as his legal heirs and representatives, they inherit the estate of the said Akbar Ali Sheikh, since deceased as per Mohammedan Law of Inheritance;
- H. By the Deed of Gift dated 18.08.2008 registered in the Office of ADSR Baruipur and recorded in Book No. I, CD Volume No. 19 Pages 103 to 121 being No. 04907 for the year 2008 said Jobeda Khatun, Asifuddin Sheikh, Rozina Khatun Bibi, Parvin Laskar and Nasrin Khatun jointly executed and registered a Deed of Gift in respect of their share all that piece and parcel of Sali (Agricultural) Land admeasuring i.e. 37.5 decimals out of 50 decimals comprised in R.S. /L.R. Plot No. 355 and also the land admeasuring 30.75 decimals out of 41 decimals comprised in R.S./L.R. Dag No. 356 and also the land admeasuring 25.50 decimals out of 34 decimals carved out of 68 decimals comprised in R.S./L.R. Dag No. 360 all appertains to L.R. Khatian No. 791 area in aggregate 93.75 decimals, all of Mouza - Sultanpur, J.L. No. 16 within the limit of Mallickpur Gram Panchayat, P.S.-Baruipur, District South 24 Parganas in favour of Sirajuddin Sheikh for the consideration mentioned therein absolutely forever and free from all encumbrances;



- I. Thus, by virtue of inheritance and the aforesaid Gift Deed the said Sirajuddin Sheikh became the absolute owner of Land admeasuring 50 decimals comprises in R.S. /L.R. Plot No. 355 and also the land measuring 41 decimals comprised in R.S./L.R. Dag No. 356 and also the land measuring 34 decimals out of 68 decimals comprised in R.S./L.R. Dag No. 360 area in aggregate 125 decimals all of Mouza – Sultanpur, J.L. No. 16 within the limit of Mallickpur Gram Panchayat, P.S. – Baruipur, District South 24 Parganas and have good marketable title thereto and the he got his name mutated in the L. R. Record-of-rights and distinguished as L.R. Khatian No. 791;

THE SCHEDULE "B" ABOVE REFERRED TO:
(THE SAID LANDED PROPERTY)

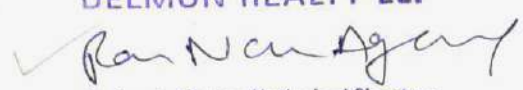
ALL THAT pieces and parcels of Sali Land admeasuring 50 decimals comprises in R.S./L.R. Plot No. 355 and also the land measuring 41 decimals comprised in R.S./L.R. Dag No. 356 and also the land measuring 34 decimals out of 68 decimals comprised in R.S./L.R. Dag No. 360 L.R. Khatian No. 791, area in aggregate 125 decimals, all plots being contiguous to each other, all of Mouza – Sultanpur, J.L. No. 16 within the limit of Mallickpur Gram Panchayat, P.S. – Baruipur, District South 24 Parganas shown within the red verge in the plan annexed hereto, together with all easement right presently the subject Plots (dags) are butted and bounded in the manner following:

On the North : By Dag No. 354 & 360 (P) of Sultanpur Mouza;
On the South : By Dag No. 359 (P) & 358 of Sultanpur Mouza;
On the East : By Dag No. 361 of Sultanpur Mouza;
On the West : By Dag No. 216 of Sultanpur Mouza

OR HOWSOEVER OTHERWISE the said landed property is butted, bounded, called, known, numbered, described and/or distinguished.

Aswif

IN WITNESSES WHEREOF the Vendor has executed and delivered this Deed of Sale on the day month and year first above written.

EXECUTED AND DELIVERED by the within named parties at Kolkata in the presence of: 1. <u>Sunny Aggarwal</u> 3A Townshend Rd Kolkata - 700025. 2. <u>Anirban Banerjee</u> 197/30, N.S.C. Bose Rd, Kolkata - 700040	<u></u> VENDOR DELMON REALTY LLP <u></u> Designated Partner/Authorised Signatory PURCHASER
---	---

Drafted by me and
prepared in my office:

Ashok Kumar Singh

(ASHOK KUMAR SINGH)

Advocate

Reg. No. WB/662/1992

High Court, Calcutta

RECEIPT

RECEIVED of and from the Purchaser the sum of Rs.97, 50,000/- (Rupees Ninety Seven Lakh Fifty Thousand Only) towards within mentioned consideration of the within named Property in full and final settlement as per memo below.

MEMO

SN	RTGS No. / Demand Draft No/Cheque No.	Date	Bank Name	Amount (Rs.)
1.	949605	11.05.2022	Punjab&Sind Bank	49,500/-
2.	543860	22.06.22	Do	96,03000/-
3.	1 % TDS	N/A	N/A	97,500/-
TOTAL				97,50,000/-

Rupees Ninety-Seven Lakh Fifty Thousand only.

WITNESSES:

1. *Sunny Agarwal*
3A, Townshend Rd.
Kolkata - 700025
2. *Anilben Bawe*
197/30, N.S.C. Bose Road
Kolkata - 700040

Singaram Shetty

VENDOR

Asmit

SITE PLAN				
R.S / L.S DAG NO- 355,356,360(P)			MOUZA - SULTAPUR J.L. NO - 16	
GRAM PANCHAYAT: MULLICKPUR			P.S - BARUIPUR DIST - 24 PGNS (S)	
AREA SOLD HEREIN : 125 DECIMALS MORE OR LESS (DEMARCATED)				
MOUZA	R.S / L.S DAG NO.	AREA(D)	L.R KHATIAN NO.	TOTAL AREA (DECIMALS)
SULTANPUR	355	50	791	125
	356	41		
	360 (P)	34		



Sri Ajay Kumar
 VENDOR

DELMON REALTY LLP

Ranwan Arif

Designated Partner/Authorised Signatory

Photo & Signatures of
the Executants
/Presentants

SPECIMEN FOR TEN FINGER PRINTS



Singh Anil Kishore

Little	Ring	Middle (Left Hand)	Index	Thumb
Thumb	Index	Middle (Right Hand)	Ring	Little



DELMON REALTY LLP

Ran Narayan
Designated Partner/Authorised Signatory

Little	Ring	Middle (Left Hand)	Index	Thumb
Thumb	Index	Middle (Right Hand)	Ring	Little

Little	Ring	Middle (Left Hand)	Index	Thumb
Thumb	Index	Middle (Right Hand)	Ring	Little

Little	Ring	Middle (Left Hand)	Index	Thumb
Thumb	Index	Middle (Right Hand)	Ring	Little



Govt. of West Bengal
Directorate of Registration & Stamp Revenue
GRIPS eChallan

GRN Details

GRN: 192022230058525681
GRN Date: 24/06/2022 17:06:23
BRN : 82224600
Payment Status: Successful
Payment Mode: Online Payment
Bank/Gateway: ICICI Bank
BRN Date: 24/06/2022 17:07:54
Payment Ref. No: 2001882256/1/2022
[Query No*/Query Year]

Depositor Details

Depositor's Name: DELMON REALTY LLP
Address: 36/1A ELGIN ROAD KOLKATA - 700020
Mobile: 9836169732
Depositor Status: Buyer/Claimants
Query No: 2001882256
Applicant's Name: Mr Ashok Kumar Singh
Identification No: 2001882256/1/2022
Remarks: Sale, Sale Document

Payment Details

Sl. No.	Payment ID	Head of A/C Description	Head of A/C	Amount (₹)
1	2001882256/1/2022	Property Registration- Stamp duty	0030-02-103-003-02	597159
2	2001882256/1/2022	Property Registration- Registration Fees	0030-03-104-001-16	149311
Total				746470

IN WORDS: SEVEN LAKH FORTY SIX THOUSAND FOUR HUNDRED SEVENTY ONLY.

आयकर विभाग
INCOME TAX DEPARTMENT
DELMON REALTY LLP



भारत सरकार
GOVT. OF INDIA



30/08/2016

Permanent Account Number

AAMFD8063G

28/10/2016

DELMON REALTY LLP

Ran Nar Singh

Designated Partner/Authorised Signatory

भारत सरकार
Government of India

आधार

Download Date: 13/07/2021

Issue Date: 01/07/2021

Ram Naresh Agarwal
Date of Birth/DOB: 03/05/1967
Male/ MALE

5948 8963 0890
VID : 9152 0994 2056 4085

मेरा आधार, मेरी पहचान

भारतीय विशिष्ट पहचान प्राधिकरण
Unique Identification Authority of India

Address:
South City Galaxy, Flat No. 5a, 2 Justice
Chandra Madhab Road, Bhawanipur,
L.R. Sarani, Kolkata,
West Bengal - 700020

5948 8963 0890
VID : 9152 0994 2056 4085

1947 | help@uidai.gov.in | www.uidai.gov.in

✓ Ram Naresh Agarwal

आयकर विभाग

INCOME TAX DEPARTMENT

RAM NARESH AGARWAL

NAND KISHORE AGARWAL

03/05/1967

Permanent Account Number

ACYPA1903G

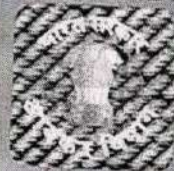
Ran-Nan Agary

Signature



भारत सरकार

GOVT. OF INDIA



22062016

Ran Naresh Agary

 भारत सरकार
Government of India

 आधार

Issue Date: 30/03/2016



सिराजुद्दीन शेख
Sirajuddin Sheikh
जन्मतिथि / DOB: 01/06/1969
पुरुष / Male

 8624 1092 9045

 8624 1092 9045

मेरा आधार, मेरी पहचान

 भारतीय विशिष्ट पहचान प्राधिकरण
Unique Identification Authority of India

 AADHAAR

Print Date: 03/11/2021

ठिकाना: एस/ओ: आकबर अली शेख, उत्तर बादेहुगली,
सीरायपुर, पश्चिम २४ परगना, पश्चिम बंग, 700145

Address: S/O: Akbar Ali Sheikh, Uttar
Badehughli, Shrirampur, South 24
Parganas, West Bengal, 700145

 8624 1092 9045

 1947  help@uidai.gov.in  www.uidai.gov.in

Sirajuddin Sheikh


 ভারতের নির্বাচন কমিশন
 পরিচয় পত্র
 ELECTION COMMISSION OF INDIA
 IDENTITY CARD
 KCT0812354

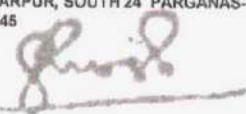



নির্বাচকের নাম : সিরাজউদ্দিন সেখ
 Elector's Name : Sirajuddin Sheikh
 পিতার নাম : আকবর আলী সেখ
 Father's Name : Akbar Ali Sheikh
 লিঙ্গ/Sex : পুং/ M
 জন্ম তারিখ : 01/06/1969
 Date of Birth : 01/06/1969

KCT0812354

ঠিকানা:
 উত্তর বাদে হুগলী, বাদেহুগলী, সোনাপুর, দক্ষিণ 24
 পরগণা- 700145

Address:
 UTTAR BADE HUGALI, BADEHUGLI,
 SONARPUR, SOUTH 24 PARGANAS-
 700145



Date: 21/08/2014

147-সোনাপুর দক্ষিণ নির্বাচন কেন্দ্রের নির্বাচক নিবন্ধন
 আধিকারিকের স্বাক্ষরের অনুকৃতি
 Facsimile Signature of the Electoral
 Registration Officer for
 147-Sonarpur Dakshin Constituency

ত্রিভুজ পরিবর্তন হলে নতুন ত্রিভুজের ছোট্ট মত যোগ্য ও একই
 লক্ষ্যের নতুন সঠিক পরিচয়পত্র পাওয়ার জন্য নির্দিষ্ট করে এই
 পরিচয়পত্রের নম্বরটি উল্লেখ করুন।
 In case of change in address mention this Card No.
 in the relevant Form for including your name in the
 roll at the changed address and to obtain the card
 with same number.

2520371

Sirajuddin Sheikh

आयकर विभाग
INCOME TAX DEPARTMENT

भारत सरकार
GOVT. OF INDIA

स्थायी लेखा संख्या कार्ड
Permanent Account Number Card
ALWPS0030R

नाम / Name
SIRAJUDDIN SHEIKH

पिता का नाम / Father's Name
AKBARALI SHEIKH

जन्म की तारीख / Date of Birth
01/06/1969

हस्ताक्षर / Signature

15218

In case this card is lost / found, kindly inform / return to :

Income Tax PAN Services Unit, UTIITSL
Plot No. 3, Sector 11, CBD Belapur,
Navi Mumbai - 400 614.

इस कार्ड के खोने/पाने पर कृपया सूचित करें/लौटाएं :

आयकर पैन सेवा यूनिट, UTIITSL
प्लॉट नं: 3, सेक्टर 11, सी.बी.डी. बेलपुर,
नवी मुंबई-400 614.

Asykar Sampark Kendras
For Income Tax Related
Queries call Toll Free Nos.
1961
or
18001801961

Sirajuddin Sheikh

 ভারত সরকার
Government of India



অরুণ ভৌমিক
Arun Bhowmick
পিতা : নারায়ণ চন্দ্র ভৌমিক
Father : Narayan Chandra Bhowmick

জন্মতারিখ / DOB: 28/02/1970
পুরুষ / Male

2374 4262 7725

আধার - সাধারণ মানুষের অধিকার

 আধার
ভারতীয় বিশিষ্ট পরিচয় প্রাধিকরণ
Unique Identification Authority of India

ঠিকানা: মল্লিকপুর
বেনিয়া ডাঙ্গা নতুন পাড়া, হরিহরপুর
মল্লিকপুর, দক্ষিণ ২৪ পরগণা
পশ্চিম বঙ্গ,

Address: Mallickpur, Benia
Danga Natun Para,
Hariharpur, South 24
Parganas, Mallickpore, West
Bengal, 700145

2374 4262 7725

1947
১৯৪৭

হেল্প
help@uidai.gov.in

www
www.uidai.gov.in

Arun Bhowmick

Major Information of the Deed

Deed No :	I-1611-06631/2022	Date of Registration	30/06/2022
Query No / Year	1611-2001882256/2022	Office where deed is registered	
Query Date	22/06/2022 10:46:12 AM	A.D.S.R. BARUIPUR, District: South 24-Parganas	
Applicant Name, Address & Other Details	Ashok Kumar Singh 2, Hare Street, 6th Floor, Thana : Hare Street, District : Kolkata, WEST BENGAL, PIN - 700001, Mobile No. : 9830530090, Status :Advocate		
Transaction		Additional Transaction	
[0101] Sale, Sale Document		[4308] Other than Immovable Property, Agreement [No of Agreement : 2]	
Set Forth value		Market Value	
Rs. 97,50,000/-		Rs. 1,49,29,720/-	
Stampduty Paid(SD)		Registration Fee Paid	
Rs. 5,97,209/- (Article:23)		Rs. 1,49,311/- (Article:A(1), E)	
Remarks			

Land Details :

District: South 24-Parganas, P.S:- Baruipur, Gram Panchayat: MALLIKPUR, Mouza: Sultanpur, JI No: 16, Pin Code : 700145

Sch No	Plot Number	Khatian Number	Land Proposed	Use ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Detail
L1	RS-355	RS-791	Industrial Purpose	Shali	50 Dec	39,00,000/-	59,71,888/-	
L2	RS-356	RS-791	Industrial Purpose	Shali	41 Dec	31,98,000/-	48,96,948/-	
L3	RS-360	RS-791	Industrial Purpose	Shali	34 Dec	26,52,000/-	40,60,884/-	
		TOTAL :			125Dec	97,50,000 /-	149,29,720 /-	
	Grand Total :				125Dec	97,50,000 /-	149,29,720 /-	

Seller Details :

SI No	Name,Address,Photo,Finger print and Signature			
1	Name Mr SIRAJUDDIN SHEIKH (Presentant) Son of Late Sk. Akbar Ali Executed by: Self, Date of Execution: 30/06/2022 , Admitted by: Self, Date of Admission: 30/06/2022 ,Place : Office	Photo  30/06/2022	Finger Print  LTI 30/06/2022	Signature  30/06/2022
Bon Hooghly, City:- , P.O:- Bادهugli, P.S:-Sonarpur, District:-South24-Parganas, West Bengal, India, PIN:- 700145 Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, PAN No.:: ALxxxxxx0R, Aadhaar No: 86xxxxxxxx9045, Status :Individual, Executed by: Self, Date of Execution: 30/06/2022 , Admitted by: Self, Date of Admission: 30/06/2022 ,Place : Office				

Buyer Details :

SI No	Name,Address,Photo,Finger print and Signature
1	DELMON REALTY LLP 36/1A, Elgin Road, City:- , P.O:- Lala Lajpat Rai Sarani, P.S:-Bhawanipore, District:-South 24-Parganas, West Bengal, India, PIN:- 700026 , PAN No.:: AAXxxxxx3G,Aadhaar No Not Provided by UIDAI, Status :Organization, Status : Not Executed

Representative Details :

SI No	Name,Address,Photo,Finger print and Signature
1	Mr RAM NARESH AGARWAL Son of Mr Nand Kishore Agarwal 135G, S.P. Mukherjee Road, City:- , P.O:- Kalighat, P.S:-Tollygunge, District:-South 24-Parganas, West Bengal, India, PIN:- 700026, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.:: ACxxxxxx3G, Aadhaar No: 59xxxxxxxx0890 Status : Representative, Representative of : DELMON REALTY LLP (as Partner)

Identifier Details :

Name	Photo	Finger Print	Signature
Mr Arun Bhowmick Son of Mr A Bhowmick Village Mallickpur, City:- , P.O:- Mullickpur, P.S:-Baruipur, District:-South 24-Parganas, West Bengal, India, PIN:- 700145	 30/06/2022	 30/06/2022	 30/06/2022
Identifier Of Mr SIRAJUDDIN SHEIKH, Mr RAM NARESH AGARWAL			

Transfer of property for L1		
Sl.No	From	To. with area (Name-Area)
1	Mr SIRAJUDDIN SHEIKH	DELMON REALTY LLP-50 Dec
Transfer of property for L2		
Sl.No	From	To. with area (Name-Area)
1	Mr SIRAJUDDIN SHEIKH	DELMON REALTY LLP-41 Dec
Transfer of property for L3		
Sl.No	From	To. with area (Name-Area)
1	Mr SIRAJUDDIN SHEIKH	DELMON REALTY LLP-34 Dec

On 30-06-2022

Certificate of Admissibility(Rule 43,W.B. Registration Rules 1962)

Admissible under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number : 23 of Indian Stamp Act 1899.

Presentation(Under Section 52 & Rule 22A(3) 46(1),W.B. Registration Rules,1962)

Presented for registration at 11:32 hrs on 30-06-2022, at the Office of the A.D.S.R. BARUIPUR by Mr SIRAJUDDIN SHEIKH ,Executant.

Certificate of Market Value(WB PUVI rules of 2001)

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs 1,49,29,720/-

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962)

Execution is admitted on 30/06/2022 by Mr SIRAJUDDIN SHEIKH, Son of Late Sk. Akbar Ali , Bon Hooghly, P.O: Badehugli, Thana: Sonarpur, , South 24-Parganas, WEST BENGAL, India, PIN - 700145, by caste Hindu, by Profession Business

Identified by Mr Arun Bhowmick , , Son of Mr A Bhowmick , Village Mallickpur, P.O: Mullickpur, Thana: Baruipur, , South 24-Parganas, WEST BENGAL, India, PIN - 700145, by caste Hindu, by profession Business

Payment of Fees

Certified that required Registration Fees payable for this document is Rs 1,49,311/- (A(1) = Rs 1,49,297/- ,E = Rs 14/-) and Registration Fees paid by Cash Rs 0/-, by online = Rs 1,49,311/-

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Online on 24/06/2022 5:07PM with Govt. Ref. No: 192022230058525681 on 24-06-2022, Amount Rs: 1,49,311/-, Bank: ICICI Bank (ICIC0000006), Ref. No. 82224600 on 24-06-2022, Head of Account 0030-03-104-001-16

Payment of Stamp Duty

Certified that required Stamp Duty payable for this document is Rs. 5,97,209/- and Stamp Duty paid by Stamp Rs 50/-, by online = Rs 5,97,159/-

Description of Stamp

1. Stamp: Type: Impressed, Serial no 51840, Amount: Rs.50/-, Date of Purchase: 09/06/2022, Vendor name: A KR SAHA

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Online on 24/06/2022 5:07PM with Govt. Ref. No: 192022230058525681 on 24-06-2022, Amount Rs: 5,97,159/-, Bank: ICICI Bank (ICIC0000006), Ref. No. 82224600 on 24-06-2022, Head of Account 0030-02-103-003-02

Subhrangshu Shekhar Mandal

Subhrangshu Shekhar Mandal
ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. BARUIPUR
South 24-Parganas, West Bengal

Certificate of Registration under section 60 and Rule 69.

Registered in Book - I

Volume number 1611-2022, Page from 160468 to 160489
being No 161106631 for the year 2022.



Digitally signed by SUBHRANGSHU
SHEKHAR MANDAL
Date: 2022.07.08 13:56:51 -07:00
Reason: Digital Signing of Deed.

SSmandal

(Subhrangshu Shekhar Mandal) 2022/07/08 01:56:51 PM
ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. BARUIPUR
West Bengal.

(This document is digitally signed.)
